



GRIFFITHS DUPLEX

980 HAND STREET, FERNIE BC



DRAWING INDEX

- A1.1 SITE PLAN
- A2.1 CRAWLSPACE PLAN
- A2.1 MAIN FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 ROOF PLAN
- A3.1 FRONT ELEVATION
- A3.2 REAR ELEVATION
- A3.3 SIDE ELEVATIONS
- A3.4 BUILDING SECTION I
- A3.4 PARTY WALL FLOOR DETAIL
- A3.5 BUILDING SECTION II
- A3.5 BUILDING SECTION III
- A3.6 BUILDING SECTION IV
- E1.1 CRAWLSPACE ELECTRICAL PLAN
- E1.2 MAIN FLOOR ELECTRICAL PLAN
- E1.3 SECOND FLOOR ELECTRICAL PLAN

GENERAL NOTES

- PLEASE READ CAREFULLY BEFORE BEGINNING PROJECT
1. WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR.
 2. THE DESIGNER IS UNABLE TO ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DRAWINGS.
 3. DRAWINGS ARE NOT TO BE SCALED
 4. ALL DRAWINGS, DIMENSIONS, DETAILS, AND NOTES TO BE REVIEWED AND CONFIRMED BY THE GENERAL CONTRACTOR BEFORE UNDERTAKING ANY WORK ON THE PROJECT. ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE DESIGNER IMMEDIATELY, BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
 5. DESIGNER IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS IN STRUCTURAL DESIGN. ALL STRUCTURAL SYSTEMS TO BE ENGINEERED BY OTHERS. STRUCTURAL LOCATIONS AND SIZES OF SONGTUBES, COLUMNS, FOOTINGS, AND BEAMS ARE A GUIDE ONLY. THEY MUST BE VERIFIED BY TRUSS / FLOOR MANUFACTURER BEFORE CONSTRUCTION BEGINS.
 6. ALL SITE DIMENSIONS AND MEASUREMENTS ARE TO BE GOVERNED AND APPROVED BY MUNICIPAL AUTHORITIES BEFORE STARTING CONSTRUCTION.
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 8. ALL CONSTRUCTION TO COMPLY WITH INDUSTRY TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS WHERE THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE STRINGENT THAN THAT CONTAINED ON THE DRAWING. ALL MATERIALS AND ENGINEERED COMPONENTS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND AS PER ENGINEERED DRAWINGS.
 9. FOUNDATION AND FOOTING DESIGN ARE TYPICAL ONLY AND ASSUME STANDARD SOIL CONDITIONS AS OUTLINED IN THE BC BUILDING CODE, LATEST EDITION. IT IS THE RESPONSIBILITY OF THE OWNER / GENERAL CONTRACTOR TO CONFIRM SITE CONDITIONS AND PROVIDE ENGINEERING IF REQUIRED.
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 11. ALL WOOD FRAMING TO BE SPF #2 OR BETTER. ANY LUMBER IN CONTACT WITH CONCRETE MUST BE "PRESERVED WOOD FOUNDATION" (PWF) MATERIAL.
 12. ALL LOADING & DRIFTING ARE TO BE DESIGNED BY OTHERS.
 13. PLUMBING, ELECTRICAL & HEATING BY CONTRACTOR TO CODE, LATEST EDITION.
 14. ROOF VENTS INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE 9.19.1.
 15. IN-FLOOR HEATED CONCRETE SYSTEM BY OTHERS. PROVISIONS TO BE MADE FOR SOIL GAS CONTROL AS PER BC BUILDING CODE 9.13.4.
 17. STAIRS AND HANDRAILS INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE 9.8.
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DRAWING

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ISSUE FOR REVIEW

LOT 1

ZONING BYLAW R-WF
LOT SIZE 854.9 sq m | 9,201.9 sq ft

PERMITTED LOT COVERAGE	
ALL STRUCTURES	30 % 2,760.6 sq ft
INCLUDING DECKS	35 % 3,220.7 sq ft
PROPOSED LOT COVERAGE	
ALL STRUCTURES	24.1 % 2,217.6 sq ft
INCLUDING DECKS	29.9 % 2,754 sq ft
1,108.8 sq ft	HOUSE & GARAGE A
1,108.8 sq ft	HOUSE & GARAGE B
2,217.6 sq ft	SUB TOTAL
268.2 sq ft	DECK & PORCH A
268.2 sq ft	DECK & PORCH B
2,754.0 sq ft	TOTAL

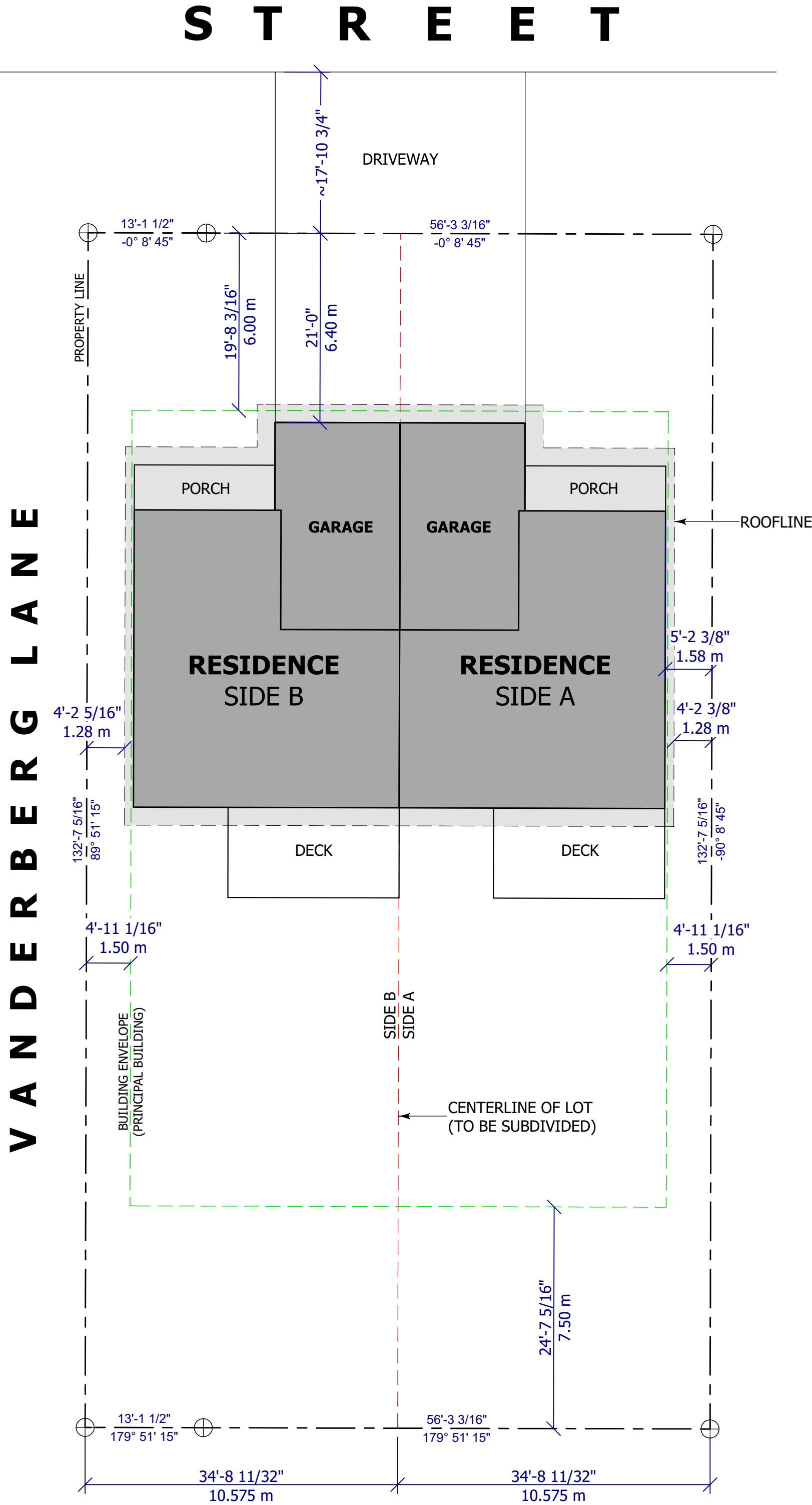
FLOOD CONSTRUCTION LEVEL 996.8 m

MAX. PRINCIPAL BUILDING HEIGHT 9.0 m | 29'-6"
MAX. ACCESSORY BUILDING HEIGHT 5.0 m | 16'-4 7/8"
MAX. ACCESSORY BUILDING HEIGHT WITH SECONDARY DWELLING UNIT 7.5 m | 24'-7 1/4"



1

SITE PLAN



GENERAL NOTES

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SCALE

3/32" = 1'-0"

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11

DATE

BY

A1.1

ISSUE FOR REVIEW

FLOODPLAIN
CONSTRUCTION
LEVEL: 996.8 m

**CRAWLSPACE
AREA**
1590 sq ft

MECHANICAL & ELECTRICAL NOTES

1. VARIABLE SPEED FURNACE (1 PER SIDE)
2. POWER VENT HOT WATER TANK (1 PER SIDE)
3. AIR CONDITIONER (1 PER SIDE)
4. HRV (1 PER SIDE)
5. 200 AMP ELECTRICAL SERVICE (1 PER SIDE)
6. CONDUIT FOR FUTURE EV CHARGERS (GARAGES)
7. ELECTRIC FIREPLACE (LIVING ROOMS)
8. GAS BBQ OUTLET (REAR DECK)
9. IRRIGATION ROUGH-IN
10. WATERLINE TO FRIDGE
11. TV OUTLET (LIVING, LOFTS, MASTER BEDROOMS)
12. CAT 6 (OFFICES)

STRUCTURAL NOTE

SEE PENG | ENGINEERED DRAWINGS FOR ALL STRUCTURAL ELEMENTS OF DESIGN, INCLUDING FOUNDATION WALLS, BEAMS, COLUMNS, JOISTS, TRUSSES AND INTLS. PAD FOOTING SIZES SUPPORTING ROOF LOAD TO BE CONFIRMED BY OTHER.



1

CRAWLSPACE PLAN

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CRAWLSPACE PLAN

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SCALE
1/4" = 1'-0"

A2.1

FLOODPLAIN
CONSTRUCTION
LEVEL: 996.8 m

LIVING AREA
1590 sq ft

29 sq ft STAIRWELLS INCLUDED

MECHANICAL & ELECTRICAL NOTES

1. VARIABLE SPEED FURNACE (1 PER SIDE)
2. POWER VENT HOT WATER TANK (1 PER SIDE)
3. AIR CONDITIONER (1 PER SIDE)
4. HRV (1 PER SIDE)
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WINDOW NOTES

1. INSTALL WINDOWS TO MATCH T/O EXTERIOR MAN DOORS. SECOND FLOOR WINDOWS INSTALLED ~83" off
2. WINDOW SIZES ARE APPROXIMATE. REFER TO WINDOW MANUFACTURER SUPPLIED R.O. SIZES
3. ALL WINDOW & DOOR LINTELS TO BE SIZED BY P.ENG



1

MAIN FLOOR PLAN

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SCALE

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LEVEL: 996.8 m

LIVING AREA

1968 sq ft

36 sq ft STAIRWELLS INCLUDED

MECHANICAL & ELECTRICAL NOTES

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12. CAT 6 (OFFICES)

STRUCTURAL NOTE

SEE PENG | ENGINEERED DRAWINGS FOR ALL STRUCTURAL ELEMENTS OF DESIGN, INCLUDING FOUNDATION WALLS, BEAMS, COLUMNS, JOISTS, TRUSSES AND LINTELS. PAD FOOTING SIZES SUPPORTING ROOF LOAD TO BE CONFIRMED BY OTHER.

WINDOW NOTES

1. INSTALL WINDOWS TO MATCH T/O EXTERIOR MAN DOORS. SECOND FLOOR WINDOWS INSTALLED ~83" aff
2. WINDOW SIZES ARE APPROXIMATE. REFER TO WINDOW MANUFACTURER SUPPLIED R.O. SIZES
3. ALL WINDOW & DOOR LINTELS TO BE SIZED BY PENG



1

SECOND FLOOR PLAN

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home + building design

T: 250 489 9022 | E: kim@timbershdbd.com

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DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

DRAWING

SECOND FLOOR PLAN

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1	ISSUE FOR REVIEW	11 MAR	11 MAR	11 MAR	11 MAR
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DATE: 11-MAR-24

PAGE No.

SCALE: 1/4" = 1'-0"

A2.3

ISSUE FOR REVIEW

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DRAWING

ROOF PLAN

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DATE	11-MAR-24	PAGE No.	
SCALE	1/4" = 1'-0"		

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ROOF NOTES

1. STRUCTURAL ENGINEER TO PROVIDE DESIGN, LAYOUT, AND POSITION OF ALL ROOF TRUSSES
2. VENTILATION TO BE PROVIDED TO ALL ROOF SPACES AS PER THE BC BUILDING CODE LATEST EDITION
3. ALL WORK TO ROOFS TO BE IN ACCORDANCE WITH THE ROOFING CONTRACTORS ASSOCIATION OF BRITISH COLUMBIA ROOFING PRACTICES MANUAL
4. SBS ROOFING TO SLOPE MINIMUM 2% FOR DRAINAGE TO EAVESTROUGH AND/OR DRAIN

ROOF LEGEND

- ROOF LINE
- - - ROOF LINE BELOW
- - - EXTERIOR WALL | DECK BELOW
- VAULTED CEILING
- UNVENTED ALUMINUM SOFFIT (NOT REQUIRED)

BUILDING HEIGHT CALCULATION

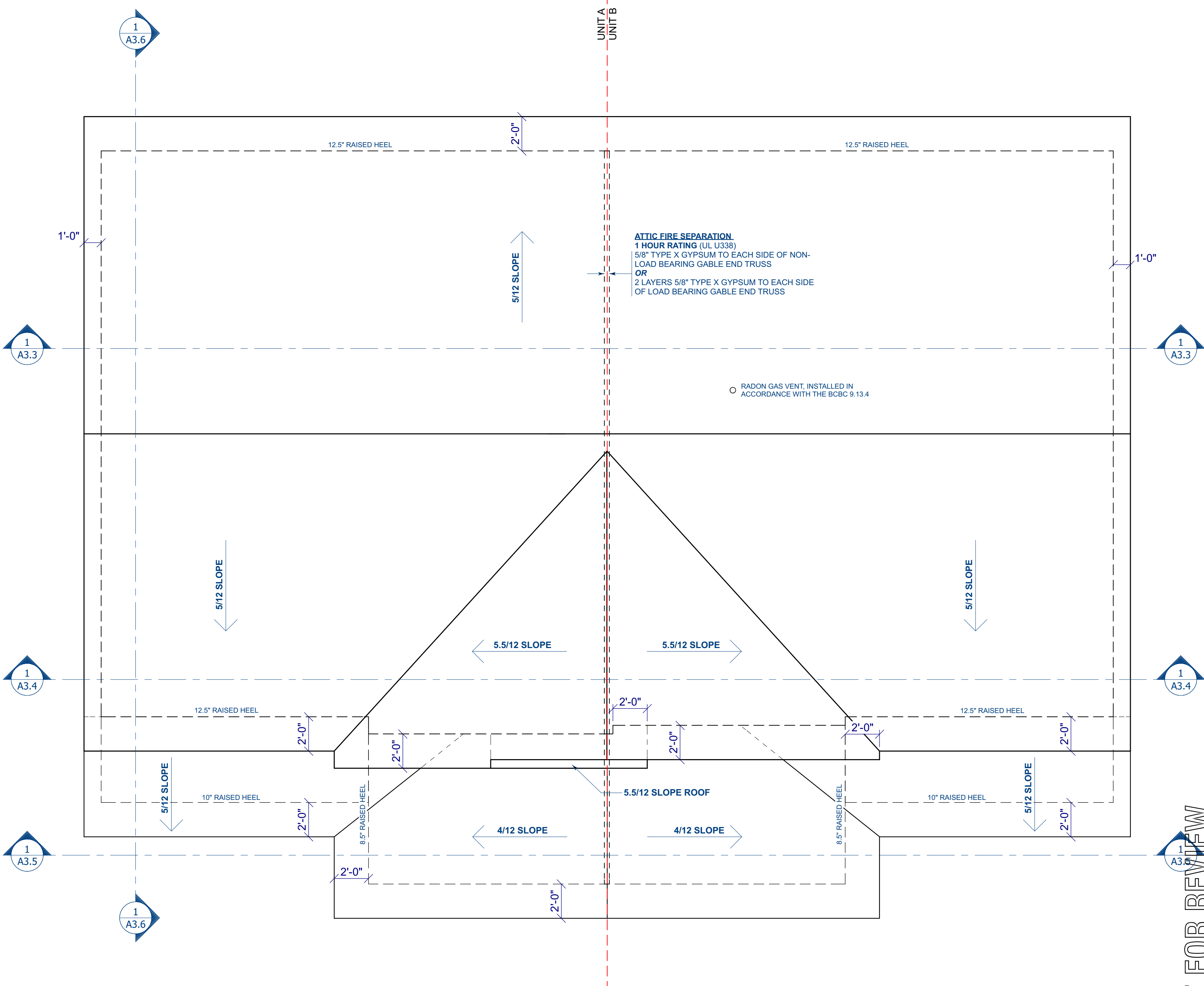
PERMITTED BUILDING HEIGHT
CITY OF FERNIE 29'-6 5/16" | 9.0 m
DESIGN GUIDELINES N/A

ACTUAL BUILDING HEIGHT
29'-5 3/4" | 8.99 m
MEASURED FINISHED GRADE TO PEAK



1

ROOF PLAN



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DRAWING

FRONT ELEVATION

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1/4" = 1'-0"

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ISSUE FOR REVIEW

FLASHING
DRIP CAP FLASHING c/w END DAMS
REQUIRED OVER ALL OPENINGS AND
HORIZONTAL SIDING TRANSITIONSUNIT A
UNIT B4" SMART FRIEZE BOARD ADJACENT
TO BOARD & BATTEN SIDINGBOARD & BATTEN SIDING
(HARDIE | ALLURA)

ASPHALT SHINGLES

8" ALUMINUM FASCIA

VENTED ALUMINUM SOFFIT

4" SMART DOOR | WINDOW TRIM

VINYL WINDOWS (BLACK EXTERIOR)

6" SMART TRIM CORNER BOARD

LAP SIDING (ALLURA | HARDIE)

PT BEAM c/w CLAD IN FIR TRIM

FIR POST

BOARD & BATTEN SIDING
(HARDIE | ALLURA)SINGLE PANEL FIBERGLASS
DOOR (STAIN FINISH)

36" ALUMINUM RAILING & SPINDLES

5/4" RADIUS PT DECKING

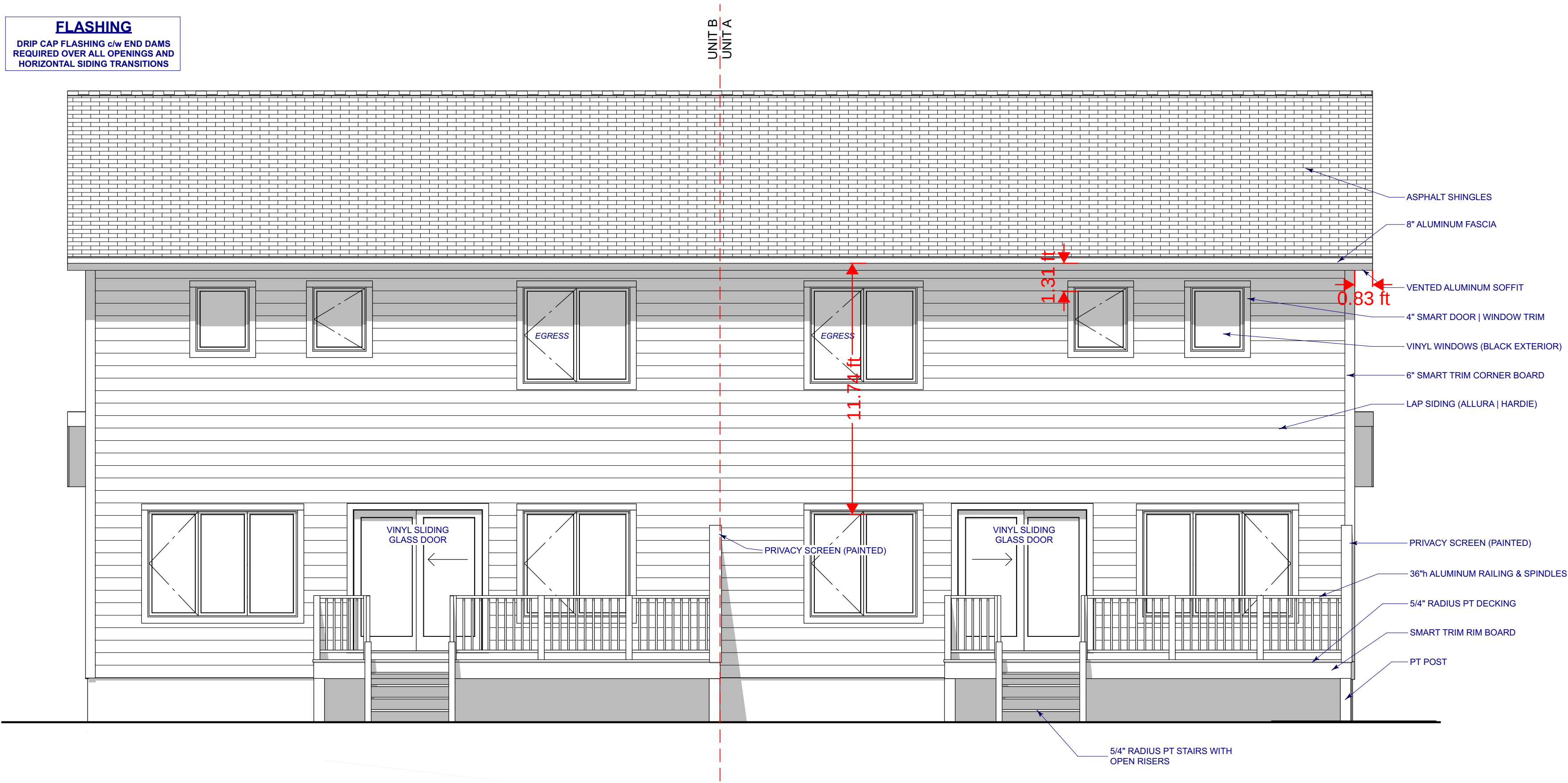
SMART TRIM RIM BOARD

1x6" PAINTED SLAT SCREEN

8" SMART TRIM HEADERS
ON GARAGE DOORSSTEEL-CRAFT FLUSH SERIES c/w 38x14"
LITES WITH BLACK PROVINCIAL WIDE
MUNTIN BARS (CHARCOAL COLOUR)5/4" RADIUS PT STAIRS WITH
PAINTED SMART TRIM RISERS29'-5 3/4"
8.98 m
BUILDING HEIGHT

1 FRONT ELEVATION

FLASHING
DRIP CAP FLASHING c/w END DAMS
REQUIRED OVER ALL OPENINGS AND
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2

REAR ELEVATION

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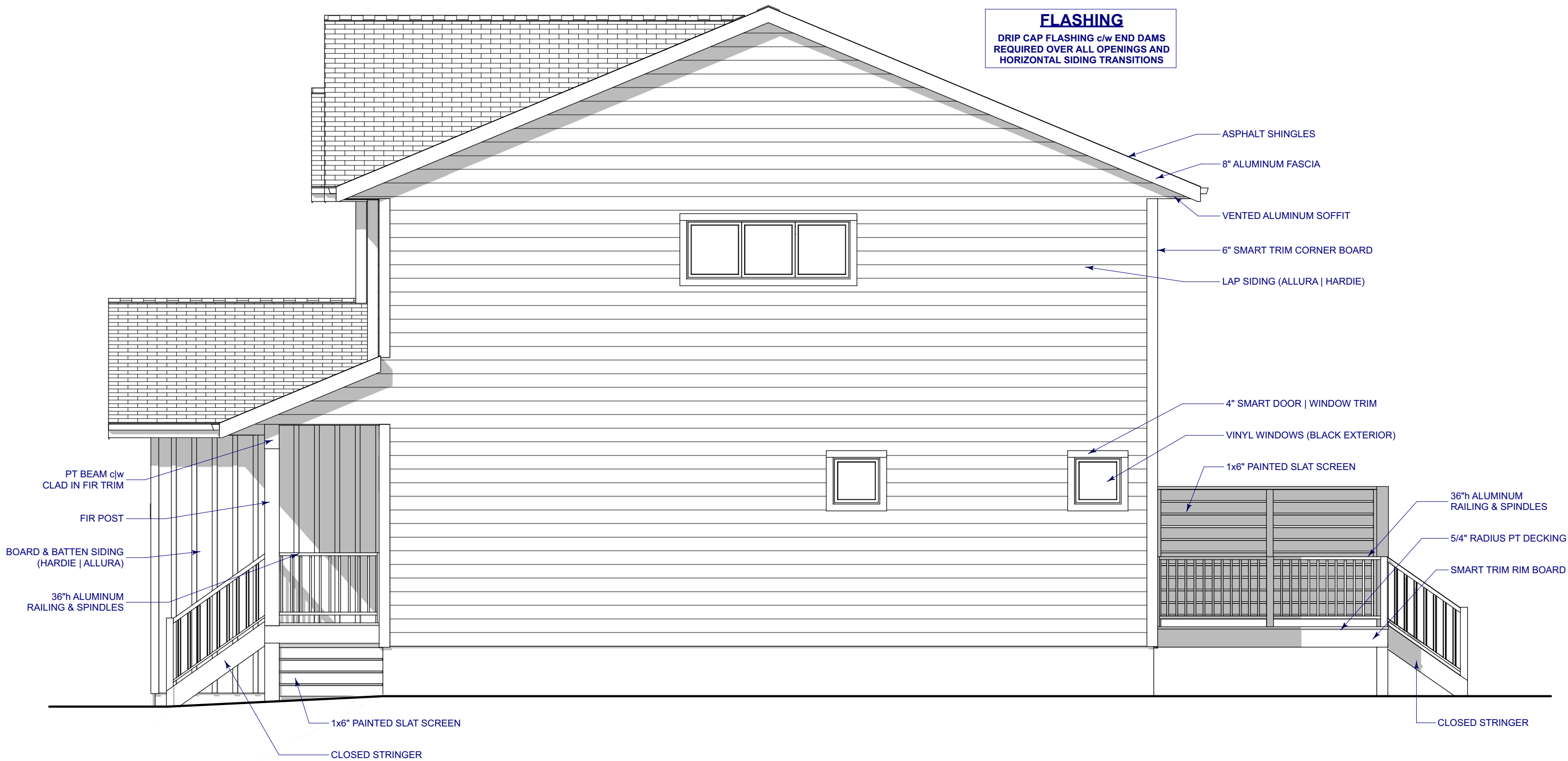
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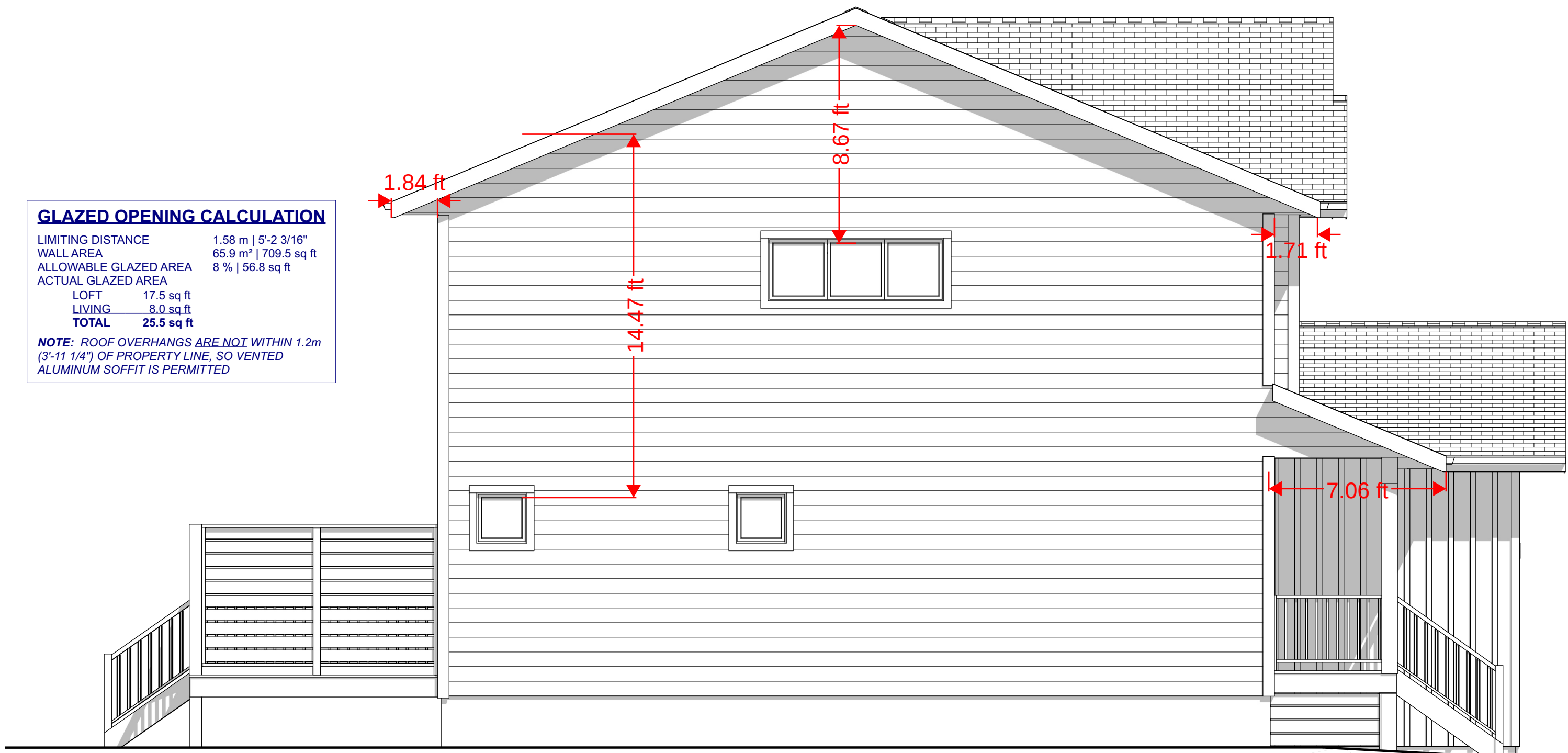
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SCALE
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1 RIGHT-SIDE ELEVATION



2 LEFT-SIDE ELEVATION

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DRAWING

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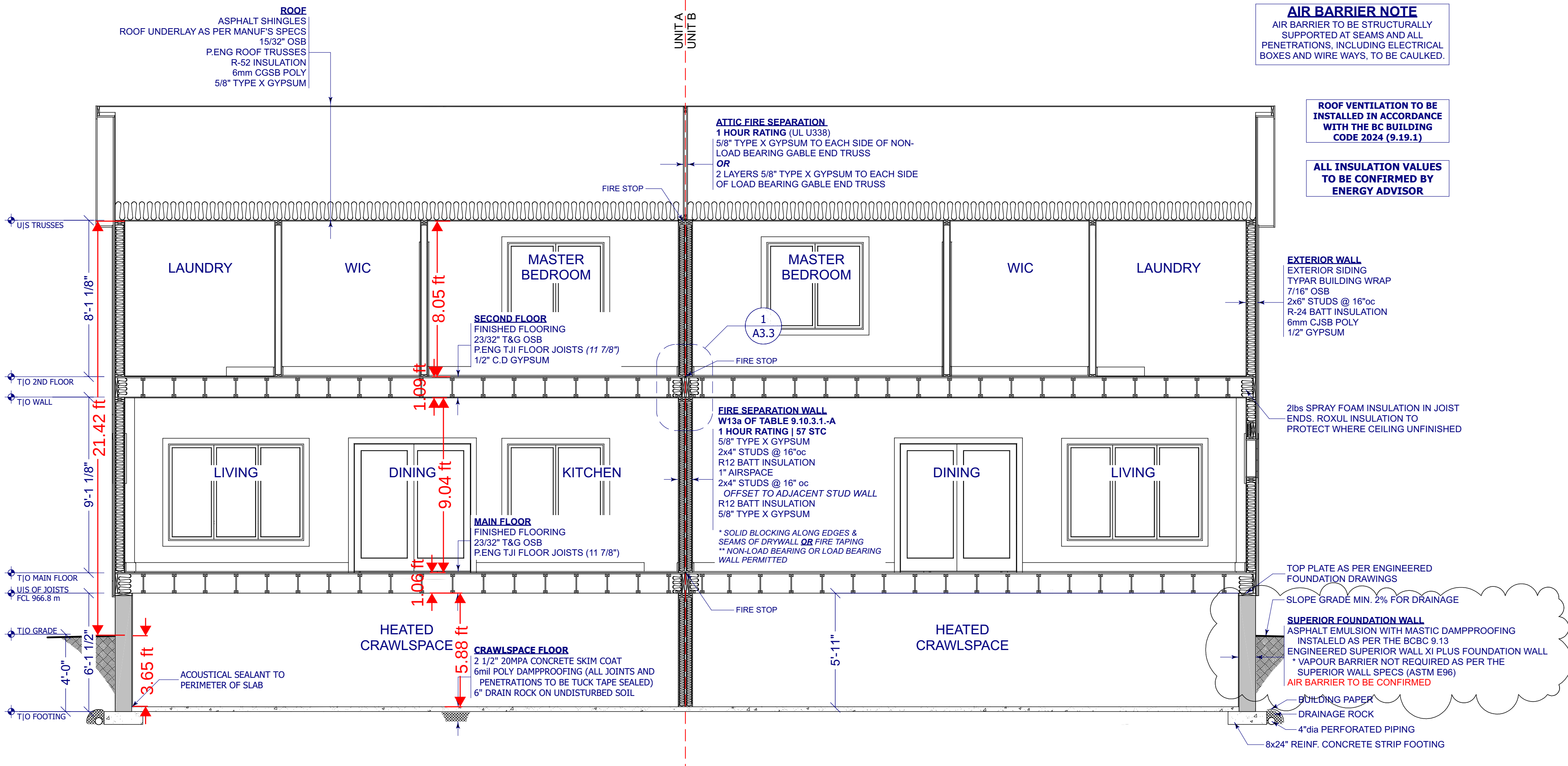
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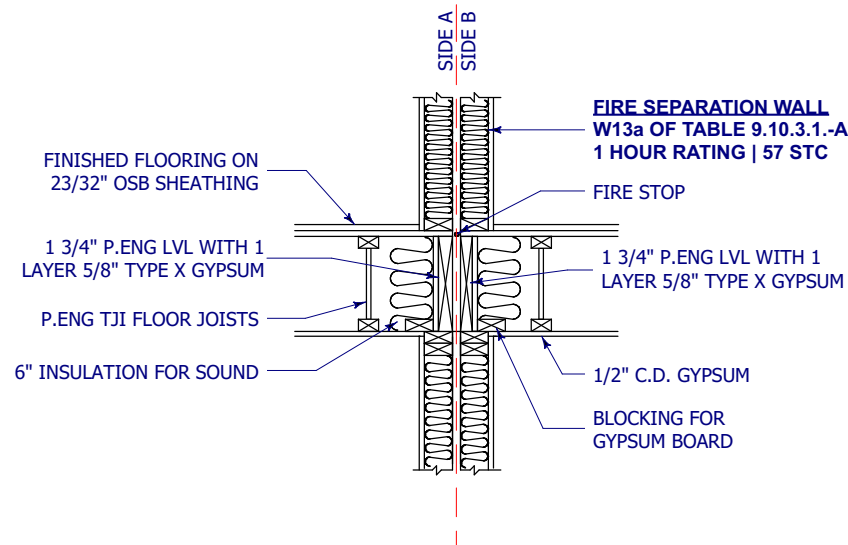
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ISSUE FOR REVIEW



1 BUILDING SECTION I
3/16" = 1'-0"



2 FLOOR DETAIL
CONTINUITY OF FIRE SEPARATION
1/2" = 1'-0"

AIR BARRIER NOTE
AIR BARRIER TO BE STRUCTURALLY SUPPORTED AT SEAMS AND ALL PENETRATIONS, INCLUDING ELECTRICAL BOXES AND WIRE WAYS, TO BE CAULKED.

ROOF VENTILATION TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE 2024 (9.19.1)

ALL INSULATION VALUES TO BE CONFIRMED BY ENERGY ADVISOR

EXTERIOR WALL
EXTERIOR SIDING
TYPAR BUILDING WRAP
7/16" OSB
2x6" STUDS @ 16"oc
R-24 BATT INSULATION
6mm CJSB POLY
1/2" GYPSUM

2lbs SPRAY FOAM INSULATION IN JOIST ENDS. ROXUL INSULATION TO PROTECT WHERE CEILING UNFINISHED

TOP PLATE AS PER ENGINEERED FOUNDATION DRAWINGS

SLOPE GRADE MIN. 2% FOR DRAINAGE

SUPERIOR FOUNDATION WALL
ASPHALT EMULSION WITH MASTIC DAMPPROOFING
INSTALLED AS PER THE BCBC 9.13
ENGINEERED SUPERIOR WALL XI PLUS FOUNDATION WALL
* VAPOUR BARRIER NOT REQUIRED AS PER THE SUPERIOR WALL SPECS (ASTM E96)
AIR BARRIER TO BE CONFIRMED

BUILDING PAPER
DRAINAGE ROCK
4"dia PERFORATED PIPING
8x24" REINF. CONCRETE STRIP FOOTING

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GRIFFITHS DUPLEX

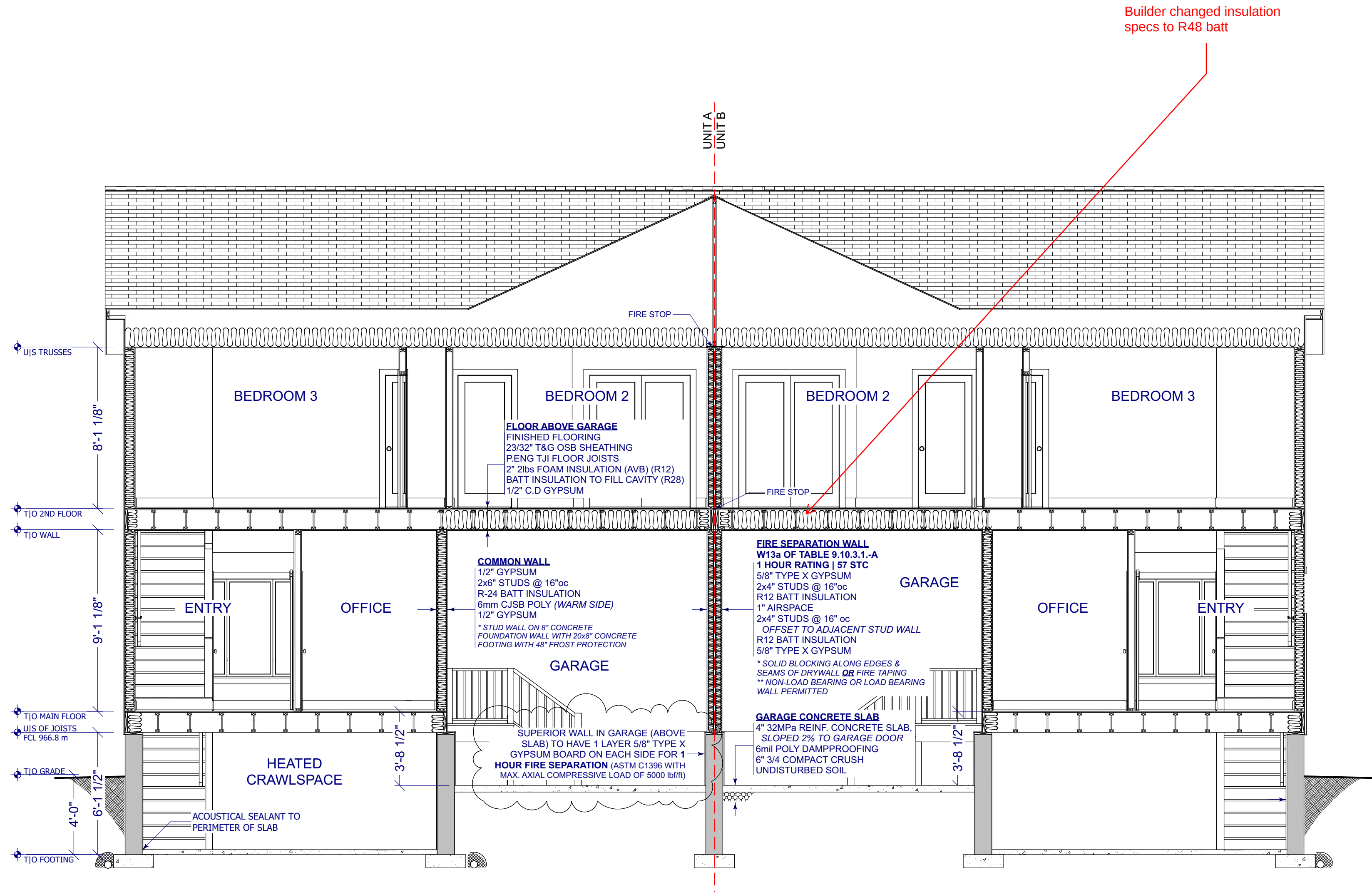
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DRAWING
BUILDING SECTION I
& FLOOR DETAIL

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ISSUE FOR REVIEW



1 BUILDING SECTION II

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T: 250 489 9022 | E: kim@timbershbd.com

CLIENT

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DRAWINGS

BUILDING SECTION II

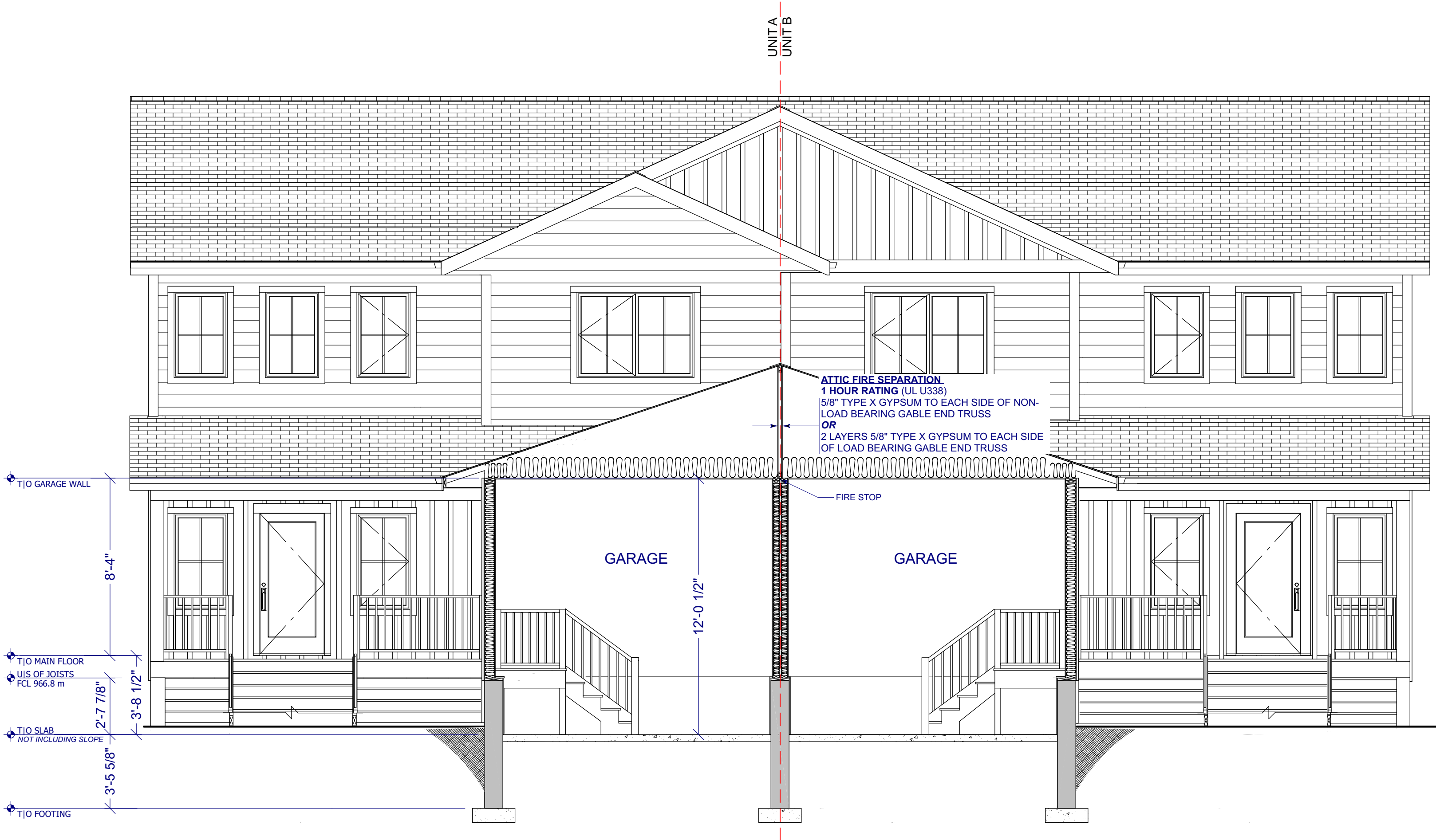
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ISSUE FOR REVIEW



1 BUILDING SECTION III

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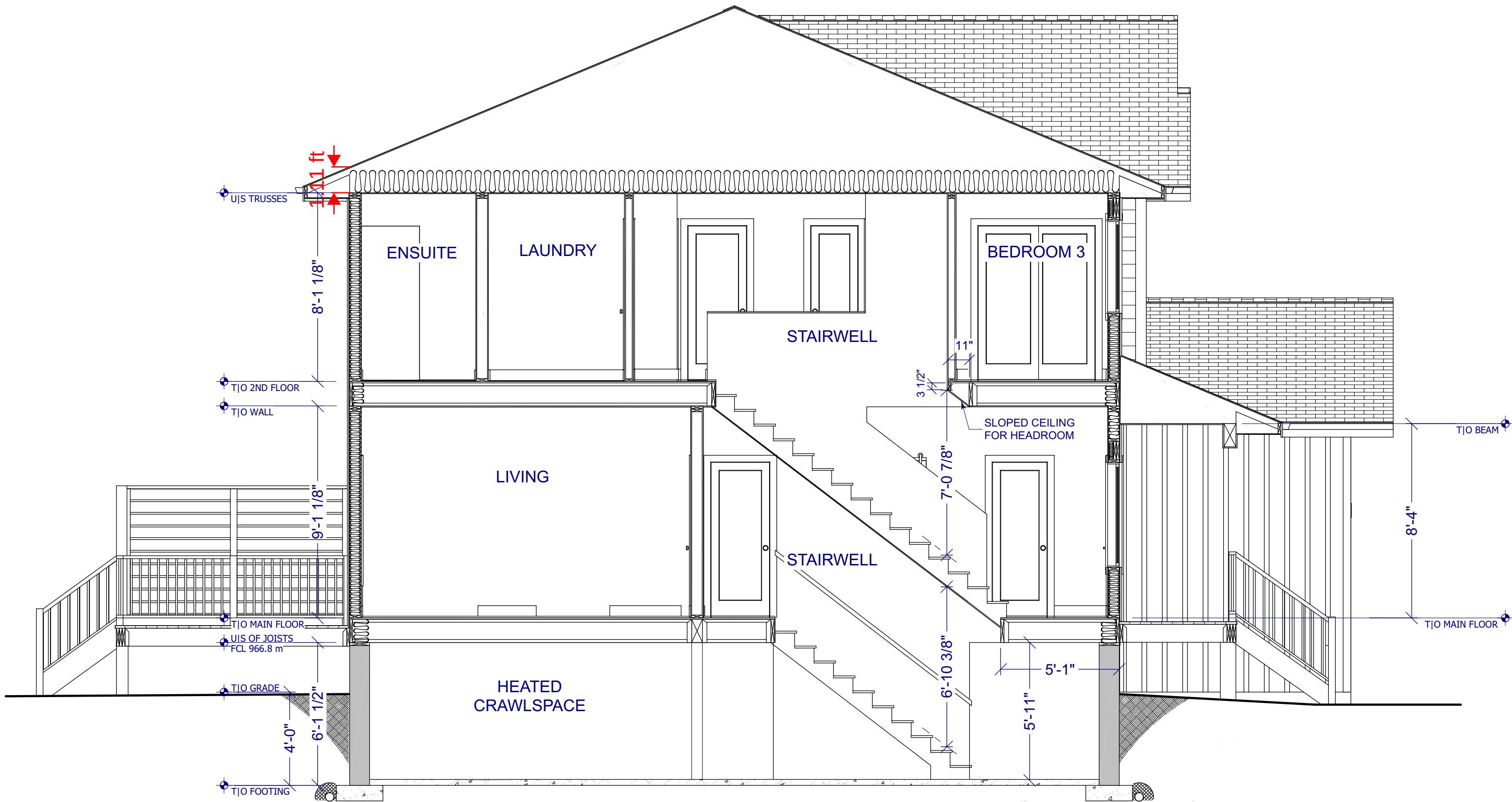
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DRAWINGS

BUILDING SECTION IV

7			
6			
5			
4			
3			
2			

1	ISSUE FOR REVIEW	11 MAR	KD
No	REVISION	DATE	BY

DATE	PAGE No.
11-MAR-24	

SCALE
1/4" = 1'-0"

A3.6

ISSUE FOR REVIEW

ELECTRICAL LEGEND	
	CEILING FAN
	CEILING FIXTURE / PENDANT
	RECESSED POT LIGHT
	VANITY LIGHT
	EXTERIOR COACH LIGHT INTERIOR WALL SCONCE
	TUBE FIXTURE
	UNDER CABINET LIGHTING
	110v OUTLET
	110v WEATHERPROOF OUTLET
	110v GFCI OUTLET
	110v SPLIT WIRED OUTLET
	220v OUTLET
	APPLIANCE SPECIFIC OUTLETS
	USB OUTLET
	STANDARD SWITCH
	3 WAY / 4 WAY SWITCH
	DIMMER SWITCH
	CAT 6 JACK
	TV JACK
	TELEPHONE JACK
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	EXHAUST FAN

CRAWLSPACE
AREA
1590 sq ft

MECHANICAL & ELECTRICAL NOTES

- VARIABLE SPEED FURNACE (1 PER SIDE)
- POWER VENT HOT WATER TANK (1 PER SIDE)
- AIR CONDITIONER (1 PER SIDE)
- HRV (1 PER SIDE)
- 200 AMP ELECTRICAL SERVICE (1 PER SIDE)
- CONDUIT FOR FUTURE EV CHARGERS (GARAGES)
- ELECTRIC FIREPLACE (LIVING ROOMS)
- GAS BBQ OUTLET (REAR DECK)
- IRRIGATION ROUGH-IN
- WATERLINE TO FRIDGE
- TV OUTLET (LIVING, LOFTS, MASTER BEDROOMS)
- CAT 6 (OFFICES)

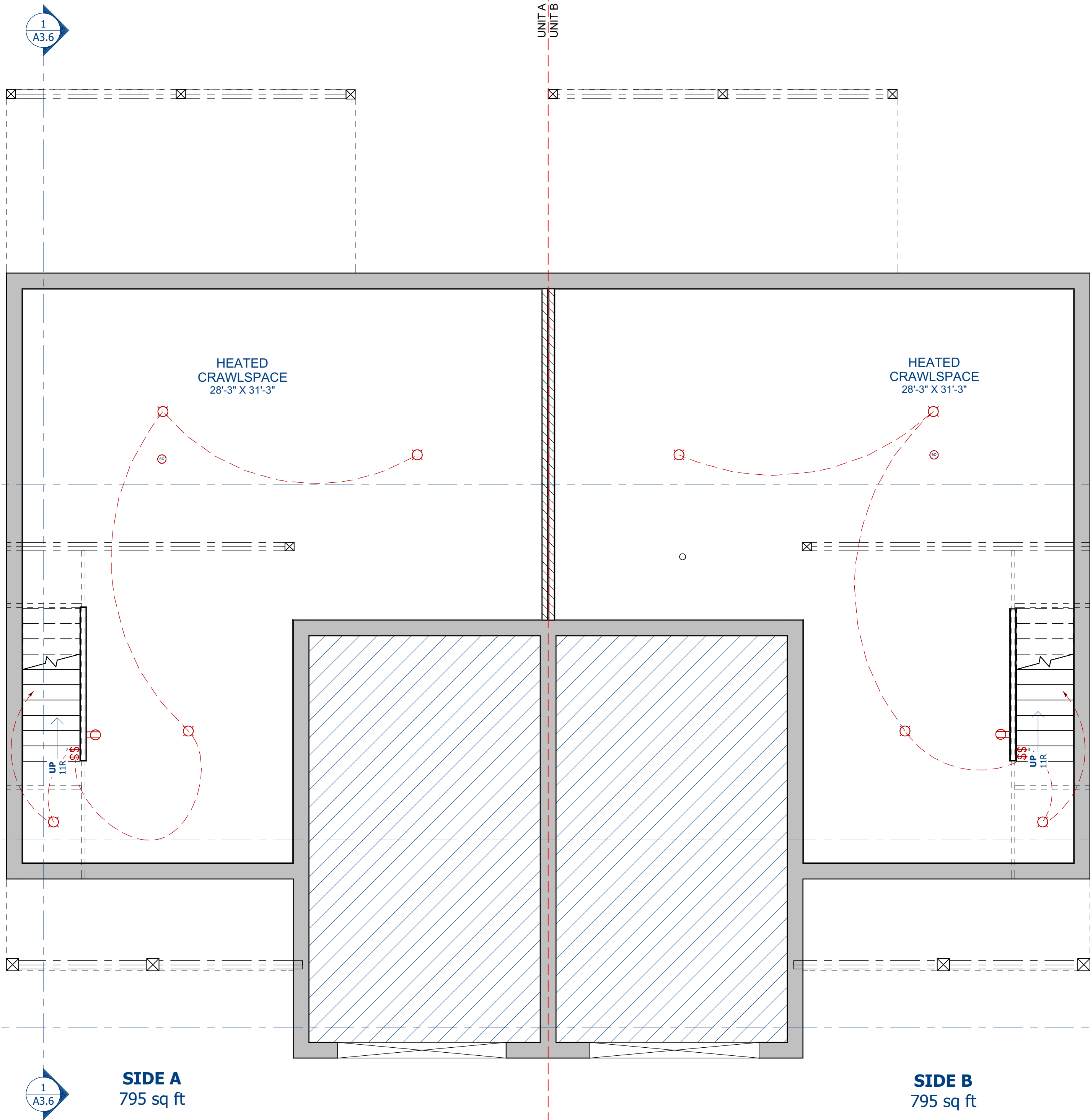
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1

CRAWLSPACE ELECTRICAL PLAN



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DRAWING

CRAWLSPACE
ELECTRICAL PLAN

7

6

5

4

3

2

1

No

REVISION

DATE

BY

DATE

11-MAR-24

SCALE

1/4" = 1'-0"

PAGE No.

E1.1

ISSUE FOR REVIEW

ELECTRICAL LEGEND	
	CEILING FAN
	CEILING FIXTURE / PENDANT
	RECESSED POT LIGHT
	VANITY LIGHT
	EXTERIOR COACH LIGHT INTERIOR WALL SCONCE
	TUBE FIXTURE
	UNDER CABINET LIGHTING
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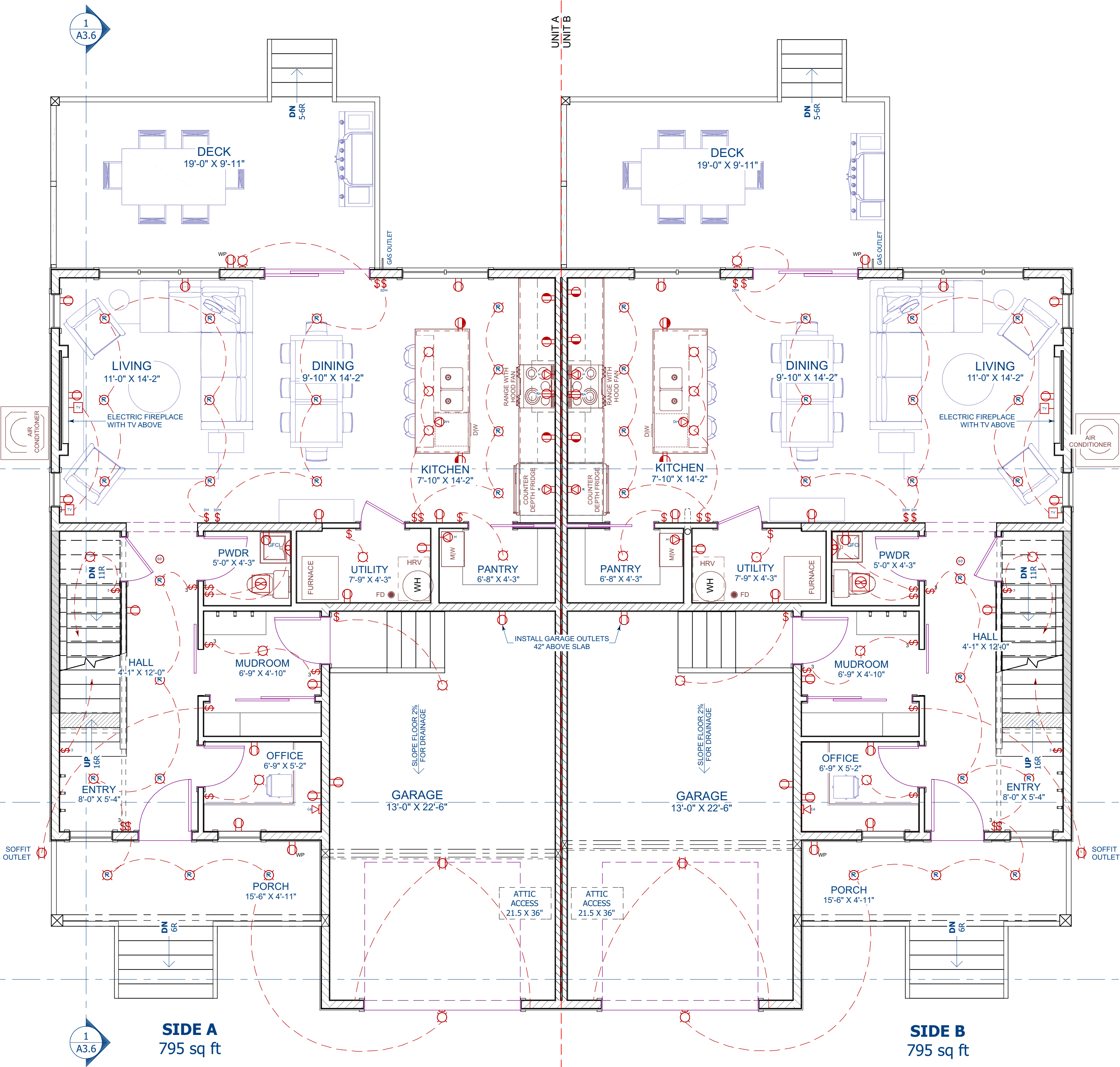
LIVING AREA
1590 sq ft

MECHANICAL & ELECTRICAL NOTES

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2. POWER VENT HOT WATER TANK (1 PER SIDE)
3. AIR CONDITIONER (1 PER SIDE)
4. HRV (1 PER SIDE)
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8. GAS BBQ OUTLET (REAR DECK)
9. IRRIGATION ROUGH-IN
10. WATERLINE TO FRIDGE
11. TV OUTLET (LIVING, LOFTS, MASTER BEDROOMS)
12. CAT 6 (OFFICES)

STRUCTURAL NOTE

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DRAWING

MAIN FLOOR
ELECTRICAL PLAN

7					
6					
5					
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1	ISSUE FOR REVIEW	11	MAR	24	KD
No	REVISION	DATE	DATE	BY	

DATE
11-MAR-24

SCALE
1/4" = 1'-0"

E1.2



1

MAIN FLOOR ELECTRICAL PLAN

ISSUE FOR REVIEW

ELECTRICAL LEGEND	
	CEILING FAN
	CEILING FIXTURE / PENDANT
	RECESSED POT LIGHT
	VANITY LIGHT
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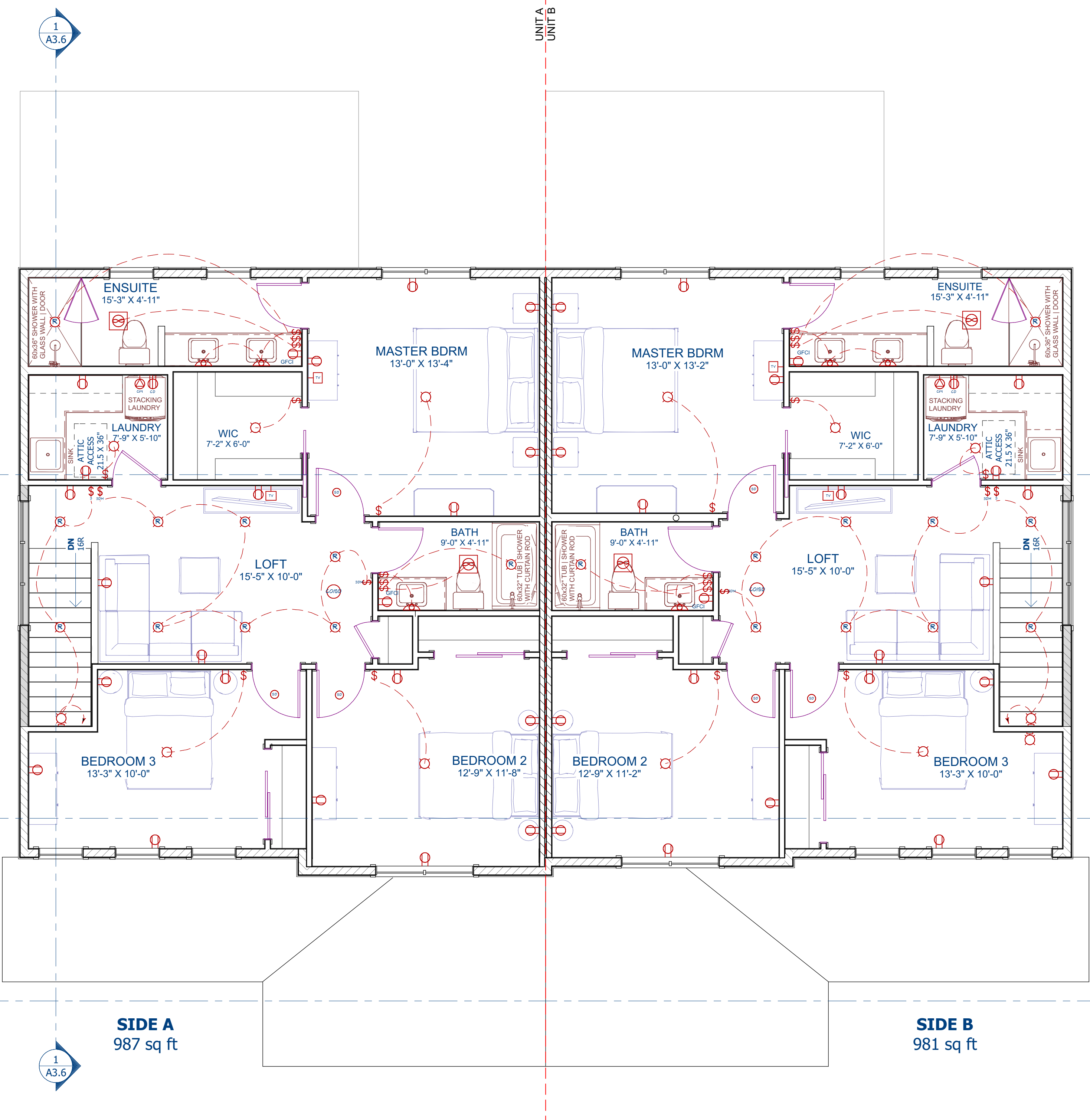
LIVING AREA
1968 sq ft

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DRAWING
**SECOND FLOOR
ELECTRICAL PLAN**

7			
6			
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2			
1	ISSUE FOR REVIEW	11 MAR	KD
No	REVISION	DATE	BY

DATE
11-MAR-24
SCALE
1/4" = 1'-0"

E1.3



1

SECOND FLOOR ELECTRICAL PLAN

ISSUE FOR REVIEW